

GENERAL NOTE:

ALL CONSTRUCTION MUST BE CONDUCTED IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF MORRISVILLE, AND UNLESS OTHERWISE SPECIFIED, DEFERS TO THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS.

SITE LEGEND:

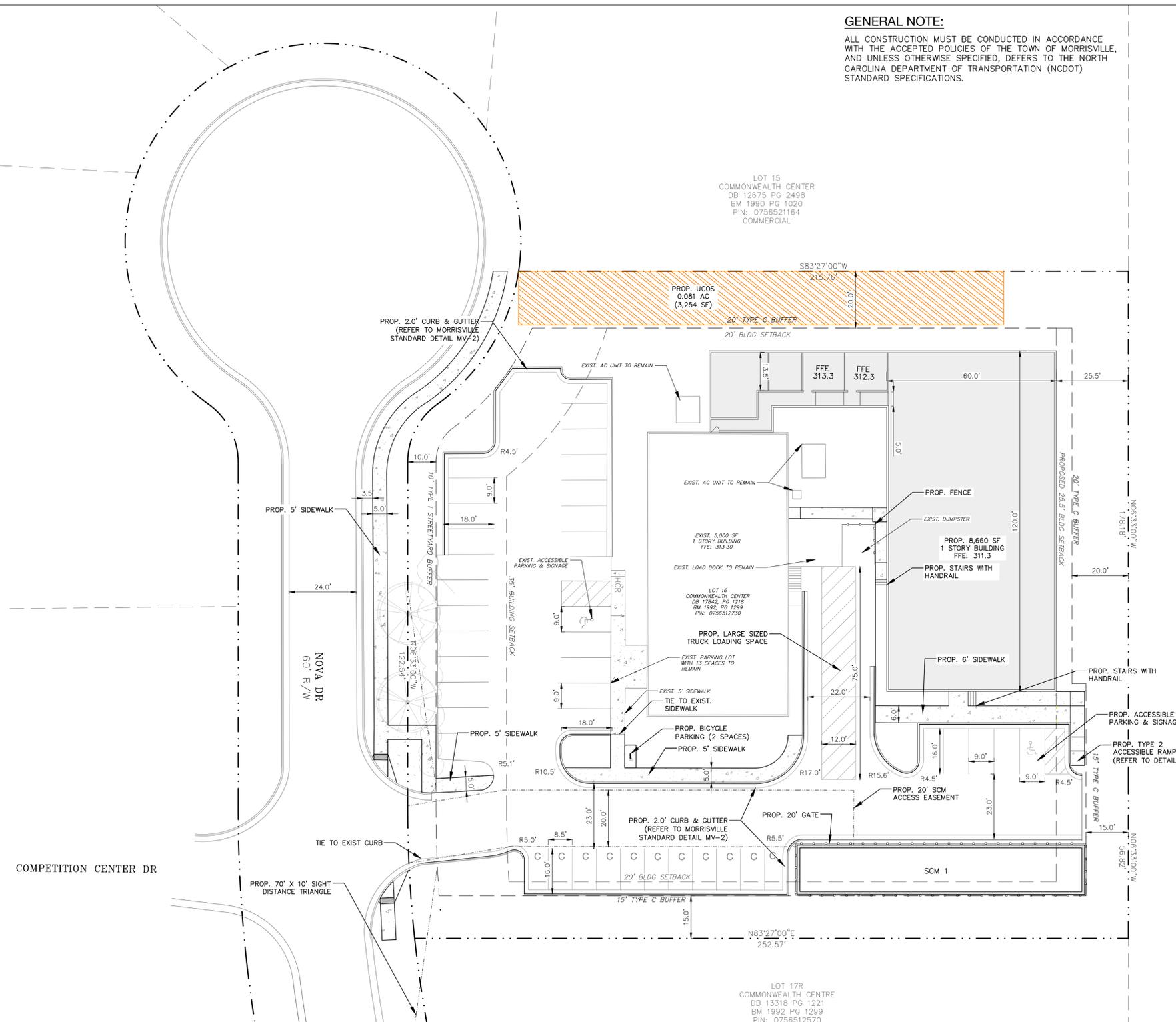
- PROP. BUILDING
- PROP. CONCRETE SURFACE
- PROP. ADA ROUTE (ADAR)
- PROP. PUBLIC STORM DRAIN ESMT.
- PROP. PRIVATE STORM DRAIN ESMT.
- PROP. CURB & GUTTER
- PROP. STOP BAR
- PROP. CROSSWALK
- PROP. SIGN
- PROP. ADA PARKING SPACE
- PROP. RETAINING WALL
- PROP. USEABLE COMMON OPEN SPACE

IMPERVIOUS SUMMARY:

EXISTING IMPERVIOUS:	19,570 SF
CONCRETE (TO REMAIN):	5,425 SF
ASPHALT (TO REMAIN):	13,132 SF
PROPOSED IMPERVIOUS:	
BUILDINGS:	8,660 SF
CONCRETE:	1,489 SF
ASPHALT:	6,060 SF
TOTAL:	16,209 SF
	0.37 AC
TOTAL EXIST. & PROP. IMPERVIOUS:	35,086 SF (0.81 AC)
TOTAL SITE AREA:	1.34 AC
IMPERVIOUS %:	60.4

SITE DATA TABLE:

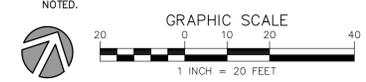
PROPERTY ID:	0756-51-2730
OWNER:	
DEVELOPER:	
SITE ADDRESS:	112 NOVA DR MORRISVILLE, NC 27560
PARCEL AREA:	1.34 AC
TOTAL SITE AREA:	1.34 AC
USABLE COMMON OPEN SPACE:	
REQUIRED:	2,919 SF (5%)
PROPOSED:	3,254 SF
ZONING DISTRICT:	INDUSTRIAL MANAGEMENT (IM)
CURRENT LAND USE:	OFFICE
PROPOSED USE:	MEDICAL OFFICE
BUILDING SF:	8,980 SF (PROPOSED)
LOT FRONTAGE WIDTH:	248 LF (NOVA DR)
PARKING:	
REQUIRED:	1 PER 300 SF = 30 SPACES
PROVIDED:	32 SPACES (PROPOSED)
PARKING DIMENSIONS:	
90 DEGREE:	9'x18' (15 STANDARD SPACES)
EXIST SPACES:	9'x18' (14 SPACES)
COMPACT:	8.5'x16' (11 SPACES)
ACCESSIBLE:	9'x16' w/ 8' AISLE (2 SPACES)
NC RIVER BASIN:	NEUSE
WATERSHED:	CRABTREE CREEK
BUILDING SETBACKS:	
FRONT:	35' (NOVA DRIVE)
SIDE:	20'
CORNER:	20'
REAR:	25.5'
PROPOSED BUILDING HEIGHT:	XX'-X"
PUBLIC UTILITIES:	
WATER LINE (LF):	4" DOM. 214 LF
SEWER LINE (LF):	4" 192 LF
SERVICE TAPS (QTY):	1
TOTAL PROJECTED SEWER FLOW:	XX EMP-PATIENTS x 50 GPD = XXXXX GPD



LOT 1
COMMONWEALTH CENTRE
DB 8318 PG 168
BM 1997 PG 175
PIN: 0756516675
COMMERCIAL USE

GENERAL NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDENR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE. ANY DEVIATIONS FROM THESE PLANS REQUIRE APPROVAL FROM THE TOWN OF MORRISVILLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS ET FORTH IN THESE PLANS
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL DIMENSIONS SHOWN ARE LABELED TO THE BACK OF CURB UNLESS OTHERWISE NOTED. CURB RADI SHALL MEASURE 4.0' AT THE BACK OF CURB UNLESS OTHERWISE NOTED.



Per N.C.G.S.

TOWN OF MORRISVILLE PROJECT # XX-XXXXXX
(FILE # XX-XXXX-XX)

Town of Morrisville
APPROVED FOR CONSTRUCTION

Signature: _____ Date: _____
Town of Morrisville, Town Engineer

Engineering: _____
Planning: _____
Other (specify): _____

Signature: _____ Date: _____
Town of Cary Utilities, Water and Sewer

Engineering Inspection Services must be contacted (919) 463-6907 at a minimum 24 hours prior to the commencement of any construction activities.

AYES
 Alken & Yelle Associates, PA
 Professional Engineers & Land Surveyors
 3765 Benson Drive
 Raleigh, North Carolina 27609
 919-877-9992 Fax 919-877-9979
 www.ayes.com
 Corporate License No. C-1024

DRAWN BY: HAY
 CHECKED BY:
 SCALE: 1" = 20'
 DATE: 11.20.2023
 REVISIONS:

URBAN DESIGN PARTNERS
 1000 W. GOLF COURSE DRIVE, SUITE 400
 CHARLOTTE, NC 28202
 www.urbandesignpartners.com

SITE PLAN
 C-3.00

112 NOVA DR.
 TOWN OF MORRISVILLE, WAKE COUNTY
 NORTH CAROLINA